

CITY OF FALLS CHURCH

CITY HALL/PUBLIC SAFETY BUILDING: RENOVATIONS & EXPANSIONS OPTIONS OVERVIEW

City Council Briefing
July 21, 2014



CITY OF FALLS CHURCH

City Hall/Public Safety Two Options Overview: Agenda

- Provide Council update
- Project goals and benefits
- Options
 - › Existing Facility Renovation/Expansion
 - › Rebuild New/Tear Down Existing
 - › Office space rental
- Design alternatives and functionality
- Cost implications
- Side by side comparison
- Next steps

City Hall & Campus: Evolution of Civic Engagement and Gathering Place



1953



1940



1957



1986



2017 ?

CITY OF FALLS CHURCH CITY HALL BRICK COLONNADE CONCEPT | DEWBERRY | 2014

PROJECT GOALS & BENEFITS

- Public Security
 - › Secure parking/evidence for Police and Courts
 - › Judge/inmate/public separation
 - › Central public entry point; after-hour police
 - › Facility separation into secure and public; after hour meetings security and access
 - › City Hall is used for over 388 public community and government meetings annually, not including as needed meetings
- Accessibility
- Water intrusion mitigation, energy efficiency
- Circulation/wayfinding improvements
- Building, stormwater, life safety code compliance
- City staff space needs, 20+year horizon

Current Progress

- Critical renovations (\$1M):
 - **Rebuilt** 6 chimneys to address brick collapse, plumbing vents and water intrusion into the attic/walls;
 - **Installed** snow rails and replaced all gutters/downspouts to prevent ice damming, large icicles and snow sheeting to address damage and injury risk;
 - **Conducted** elevator code compliance and safety assessment with correction to be completed with full renovation project;
 - **Installed** IT Server Room chemical sprinkler system to remove water sprinklers over major infrastructure equipment;
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 - **In process:** G2 floor and G level entrance area renovations (wall/floor/ceiling/lighting) to remove asbestos, mold and dust and improve functionality of work space
 - **In process:** east wing stairwell tread replacement to remove asbestos and trip hazards from deteriorating treads; and
 - **In process:** Police Station evidence room reconfiguration.

Current Progress

- Program verifications with internal stakeholders
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 - Revisited tear down-build new alternative
- Council recent briefings:
 - February 10th- project design update along with tear down-build new option;
 - July 14th- closed session with Arlington Court Judge, Sheriff and Police Chief regarding facility security issues

Approved CIP Budget: FY12, 13, and 14

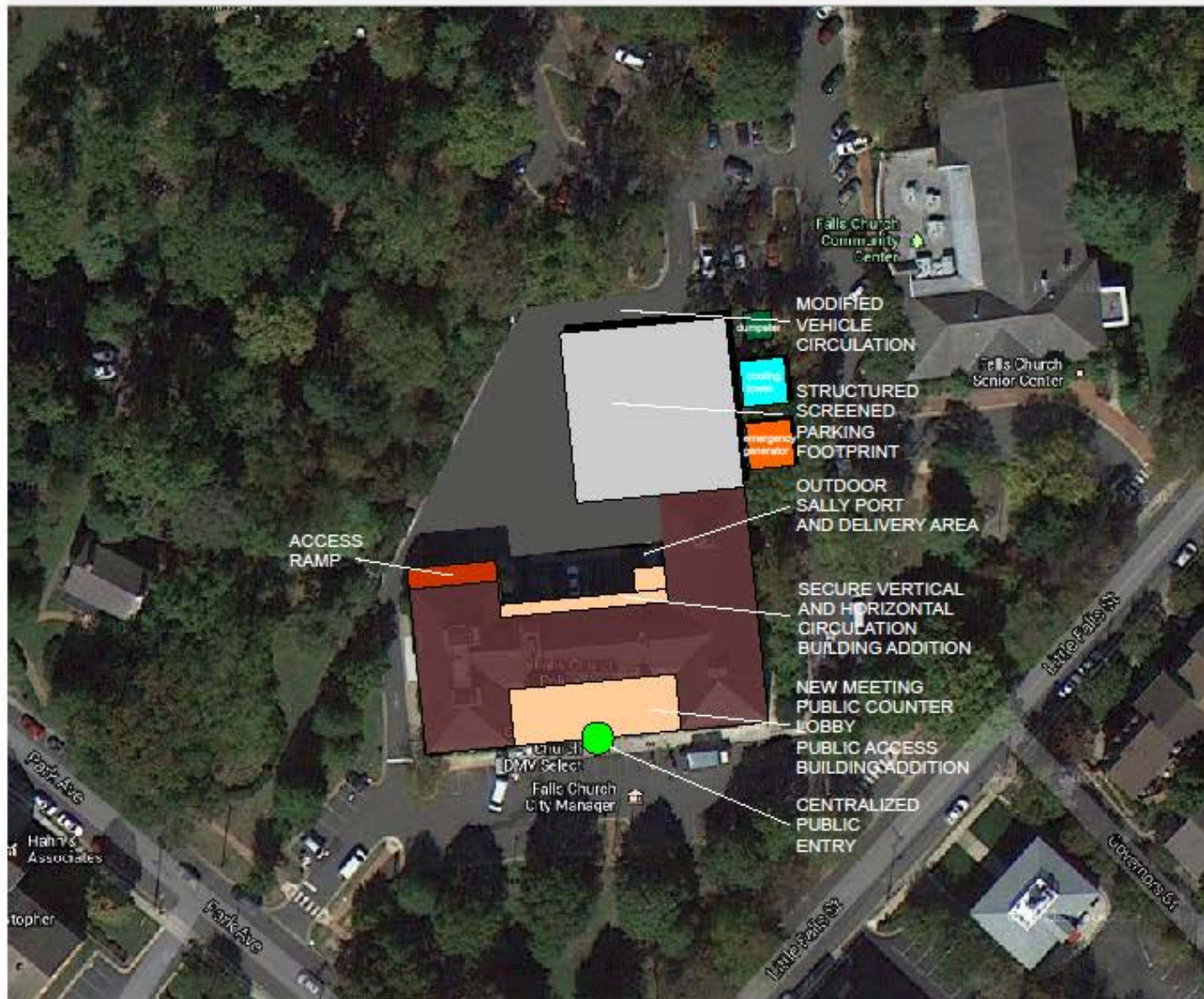
- \$1M – Critical Renovations
- \$10.7 M – City Hall Public Safety Expansion, Renovations and Parking

Changes from 2011 Concept

- ◉ Additional Civil/Mechanical investigations
 - Unforeseen site and stormwater conditions
 - Budget/Constructability considerations
- ◉ Cost Inflation – from 2011 to 2014
- ◉ Scope changes since 2011:
 - North (Rear) Garage Concept
 - Rear 1 level secured enclosed on grade parking instead of underground front
 - Reduction in North (Rear) Addition square footage
 - Reduced to a 2 level corridor with elevator
 - Improved circulation
 - Achieving Chambers/Court security
 - Renovation and Functional Adjacencies
 - HVAC scope reduced to value engineer lifespan of existing systems
 - Court Services integrated with HHS and Court Clerk

CITY HALL PUBLIC SAFETY EXPANSION/RENOVATION CONCEPT

CITY HALL PUBLIC SAFETY EXPANSION/RENOVATION CONCEPT SITE PLAN: AERIAL VIEW



CITY HALL PUBLIC SAFETY EXPANSION/RENOVATION CONCEPT

CONCEPTUAL FRONT ARCHITECTURAL ELEMENTS

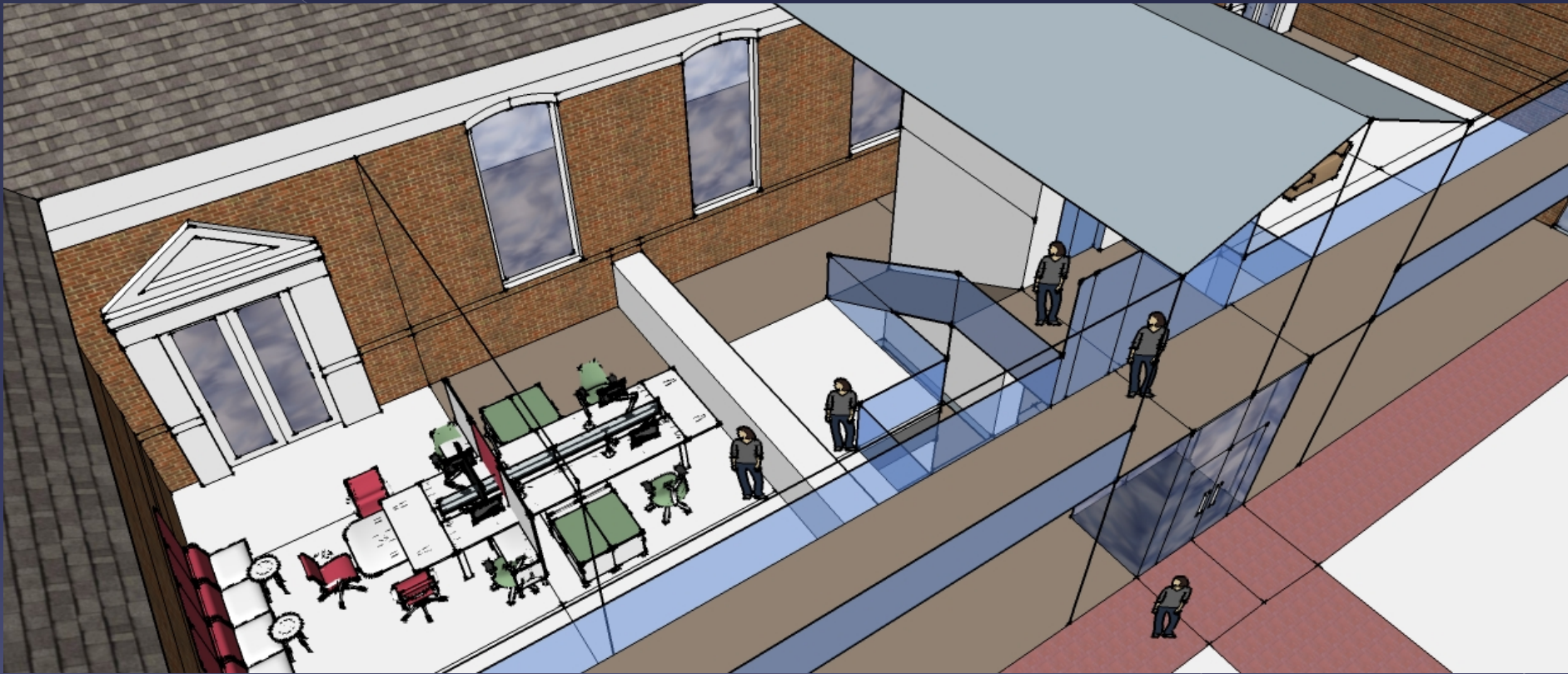
VIEWED FROM PARK AVE AND LITTLE FALLS ST



DRAFT CONCEPT: Fly Through Model



Central Front Entrance Concept



Central Front Entrance Concept

WORK AREA |
MEETING AREA
WITH GLASS WALL
TO RETAIN
HISTORIC
WALL APPEARANCE

OPEN OFFICE
STAFF WORK AREAS
WITH COMPUTERS
STORAGE
AND
WORK AREAS

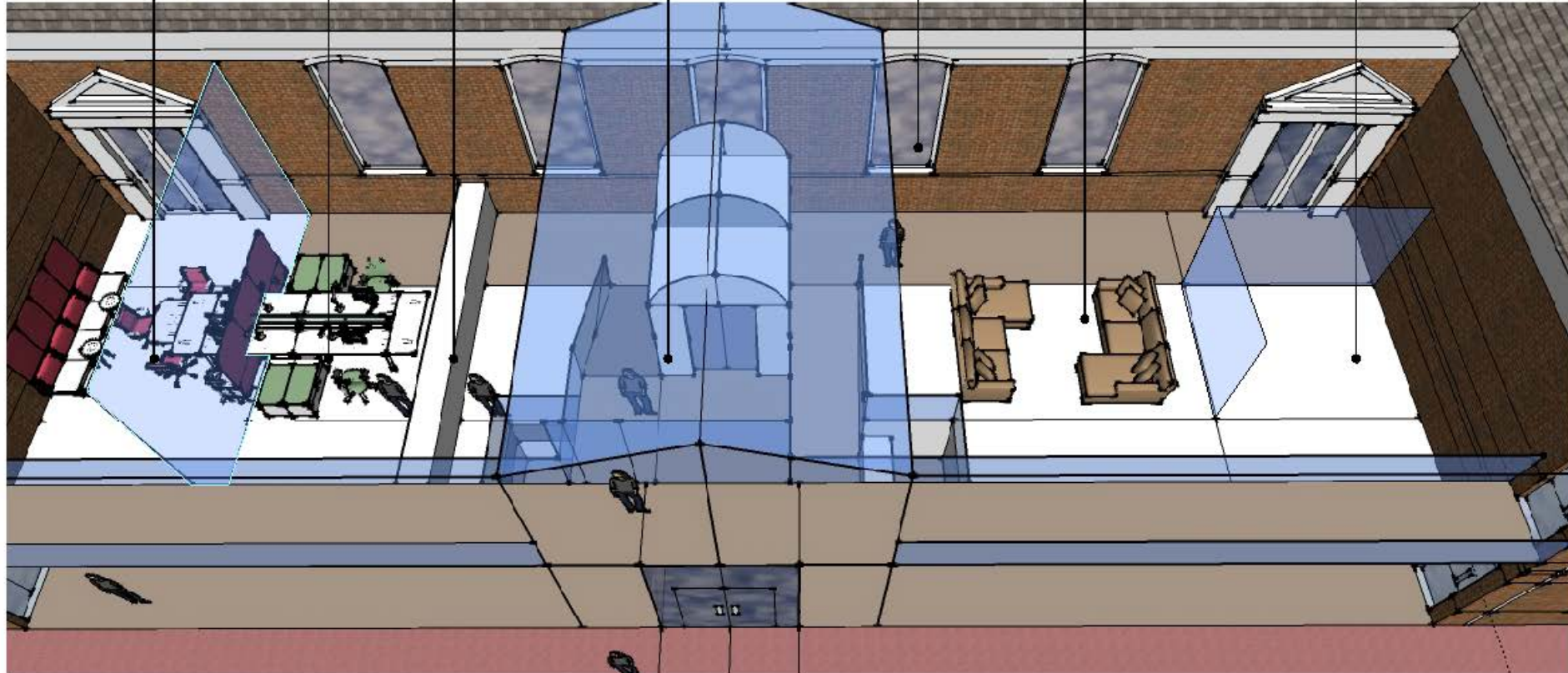
PUBLIC
SERVICE COUNTERS
FOR
VOTER REGISTRATION
DEVELOPMENT ACTIVITIES
OTHER PUBLIC SERVICES

PUBLIC UTILIZES
STAIRS AND
ELEVATOR
TO REACH MEETING
BELOW PUBLIC SERVICES
ON LOBBY LEVEL
AND ADMINISTRATION
ABOVE

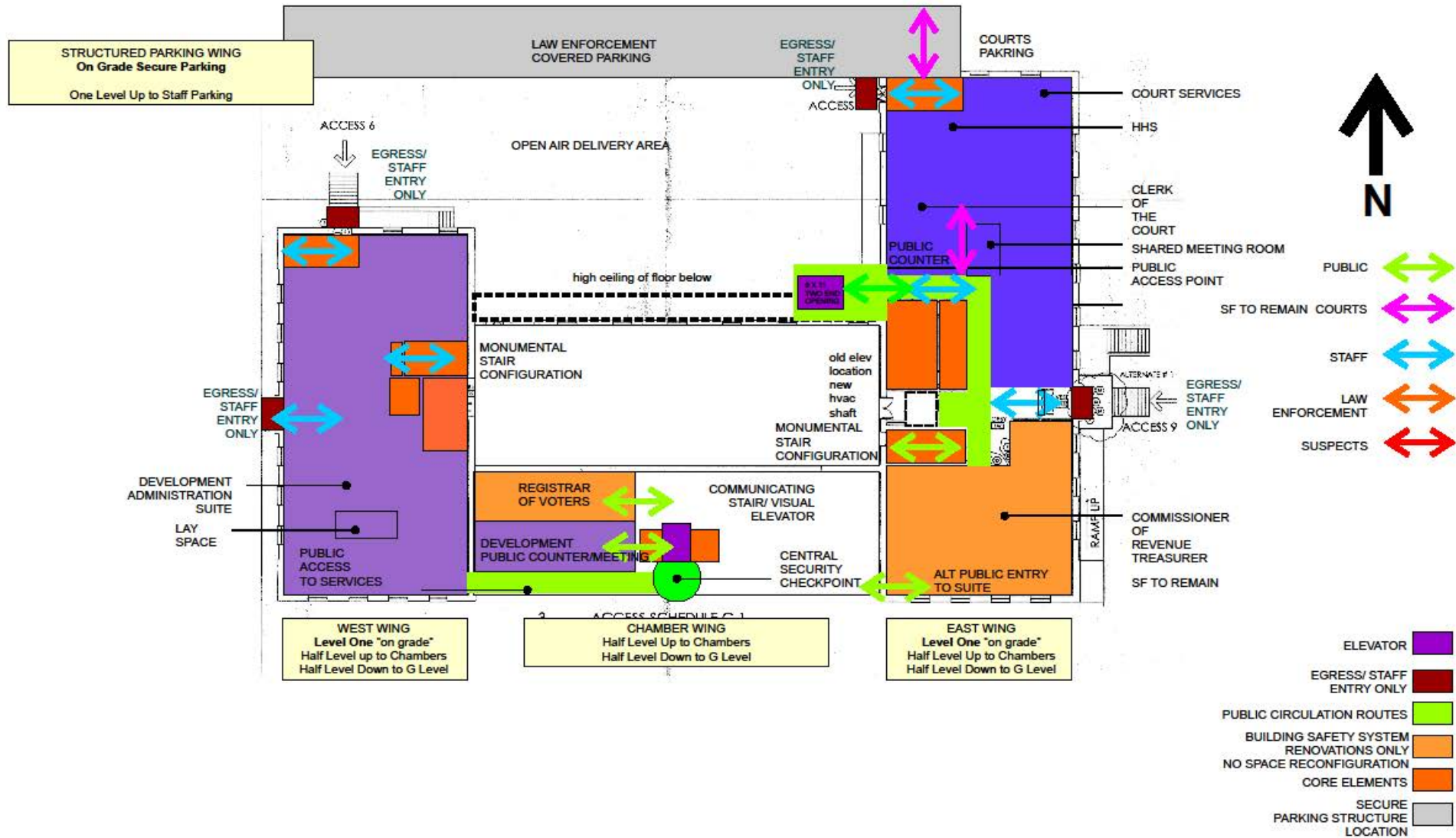
HISTORIC
CHAMBERS
WALL
IS RETAINED
WITH
SKY LIT
NATURAL LIGHT

MODULAR LOBBY
FURNITURE
TO ALLOW RECONFIGURATION
FOR LARGER RECEPTIONS
AND OTHER PUBLIC EVENTS

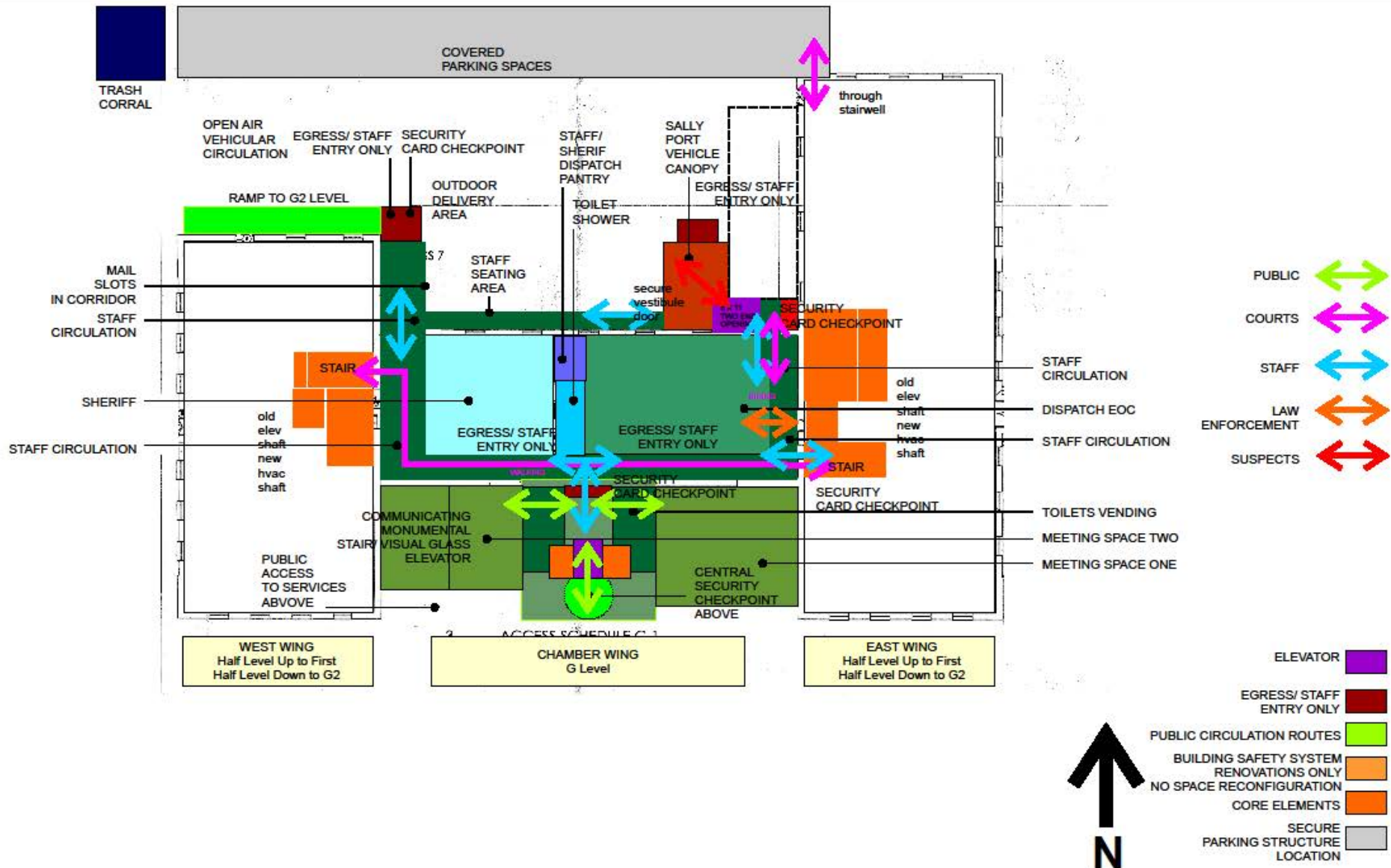
POSSIBLE RECONFIGURABLE
MEETING SPACE WITH
GLASS DIVIDERS
TO RETAIN VIEW
OF HISTORIC
CHAMBER
WALLS



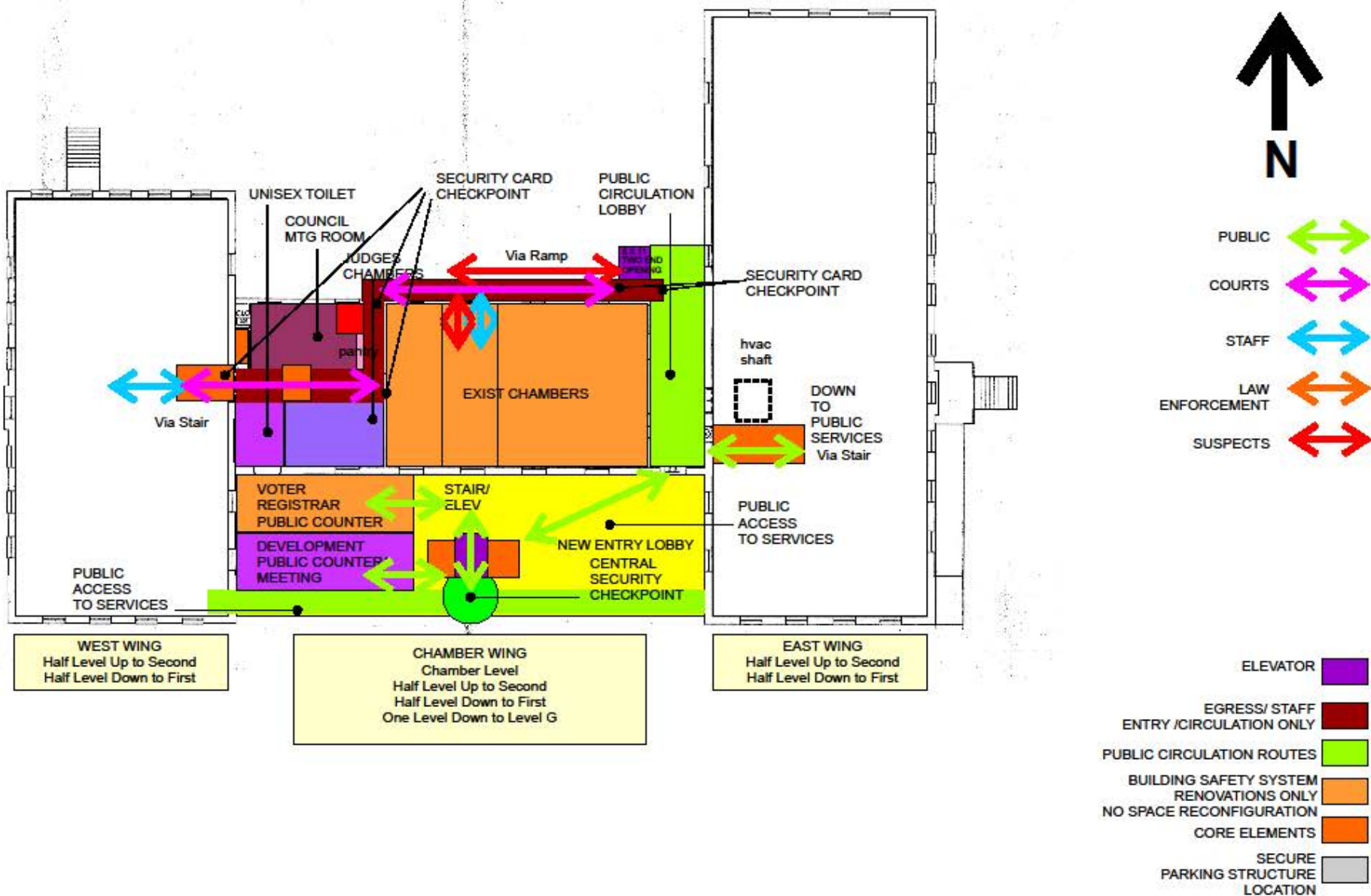
1st FLOOR



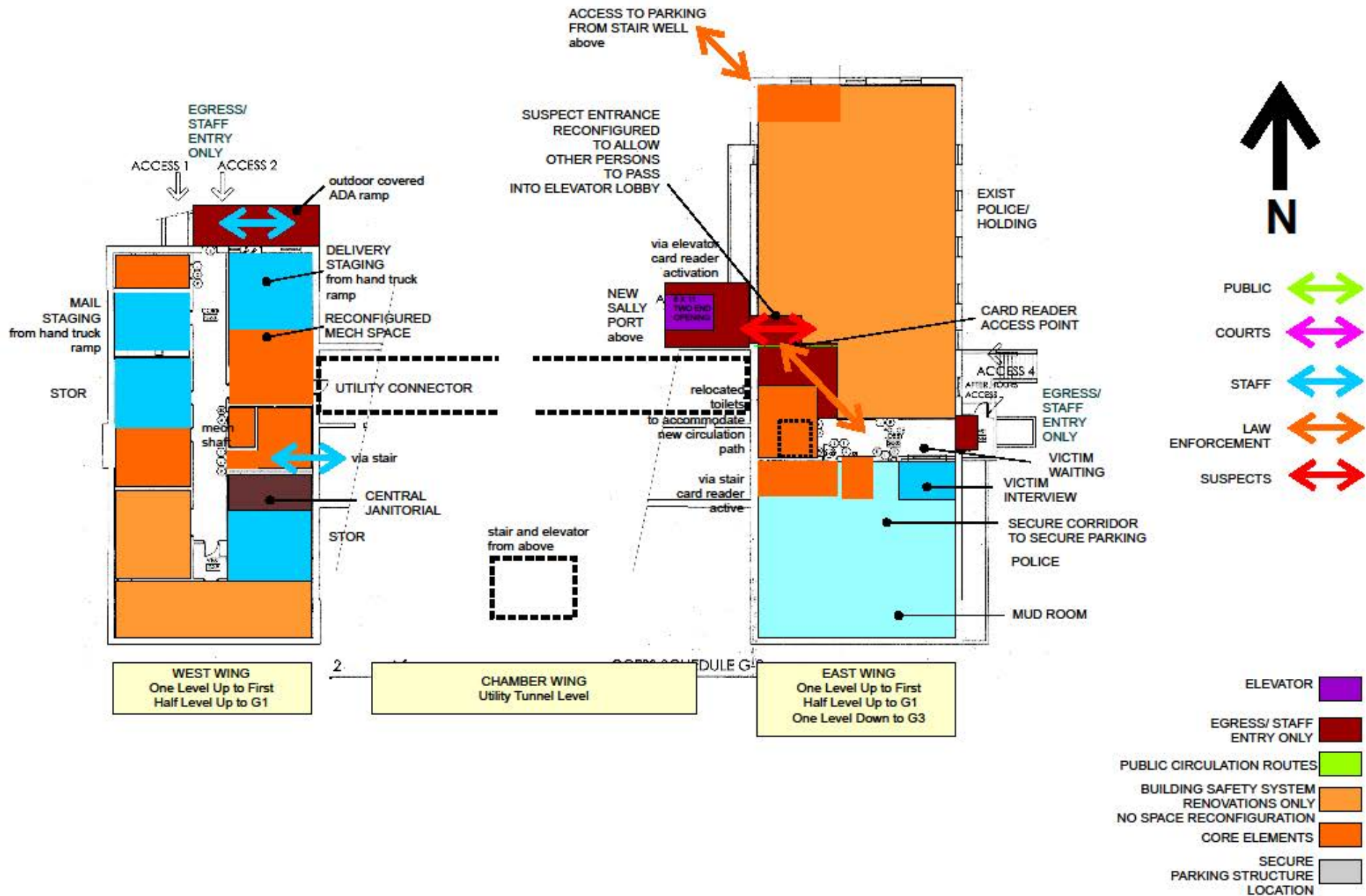
G FLOOR



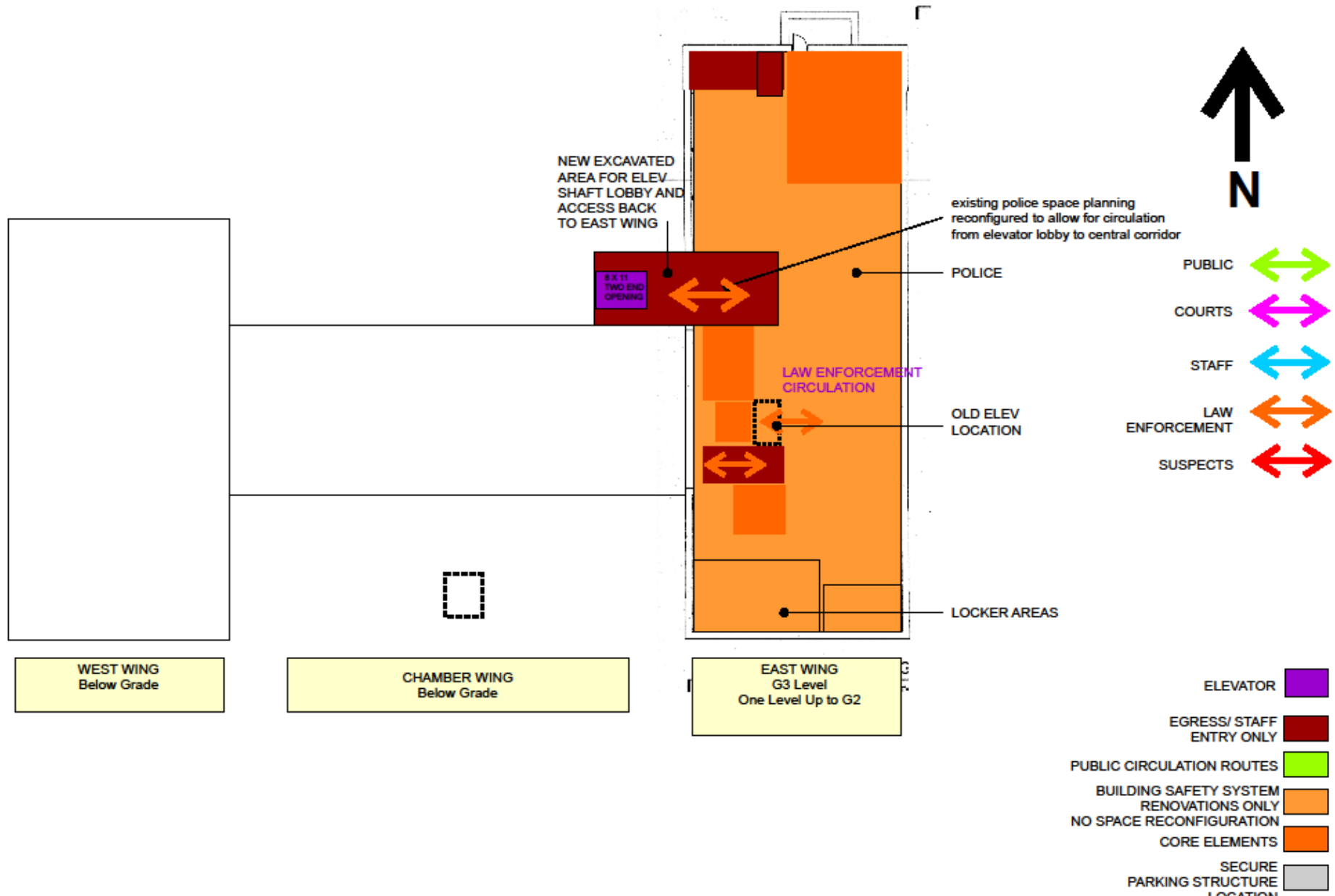
CHAMBERS FLOOR



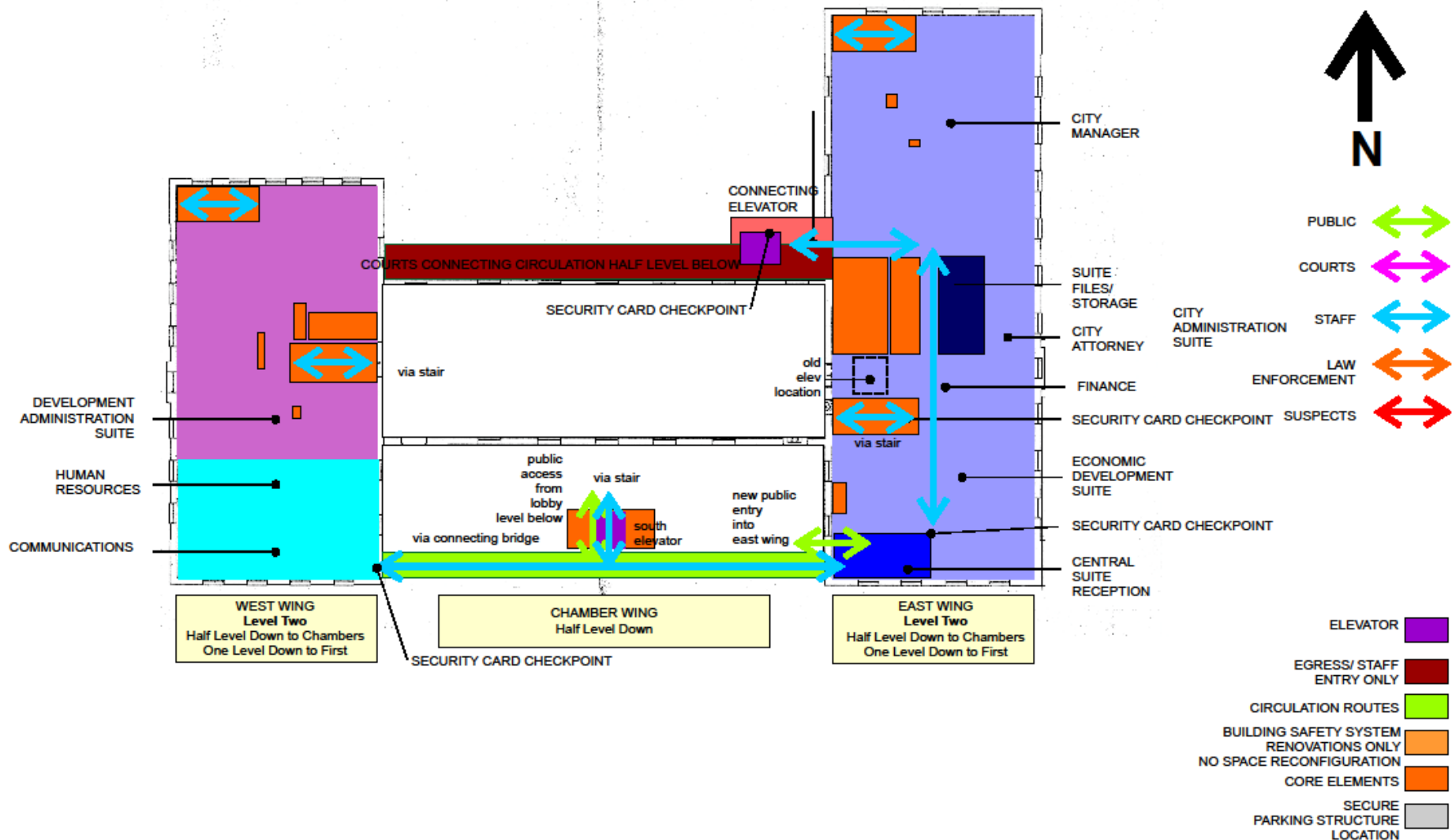
G2 FLOOR



G3 FLOOR



2nd FLOOR

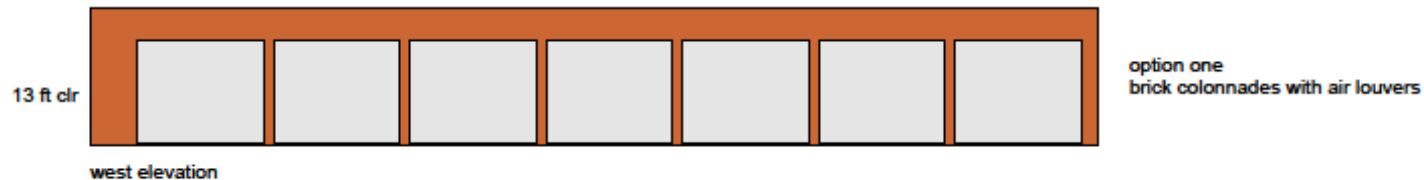
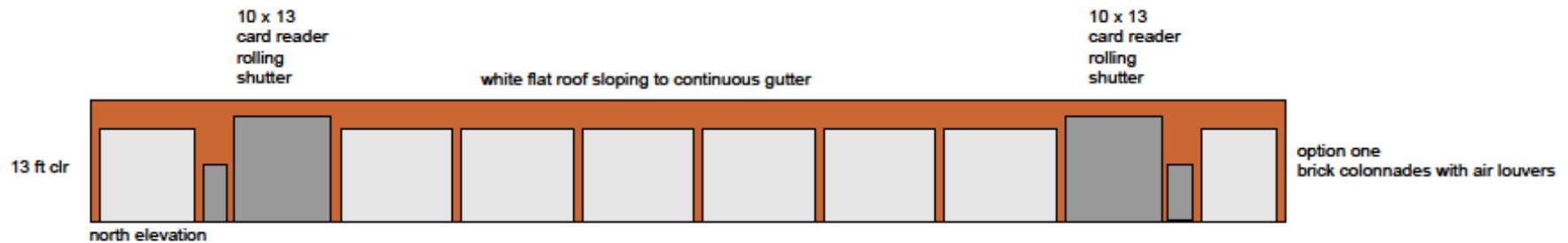
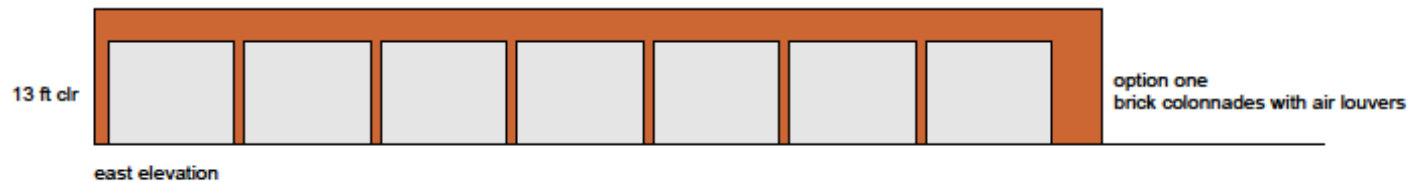


CITY HALL NORTH SIDE PARKING

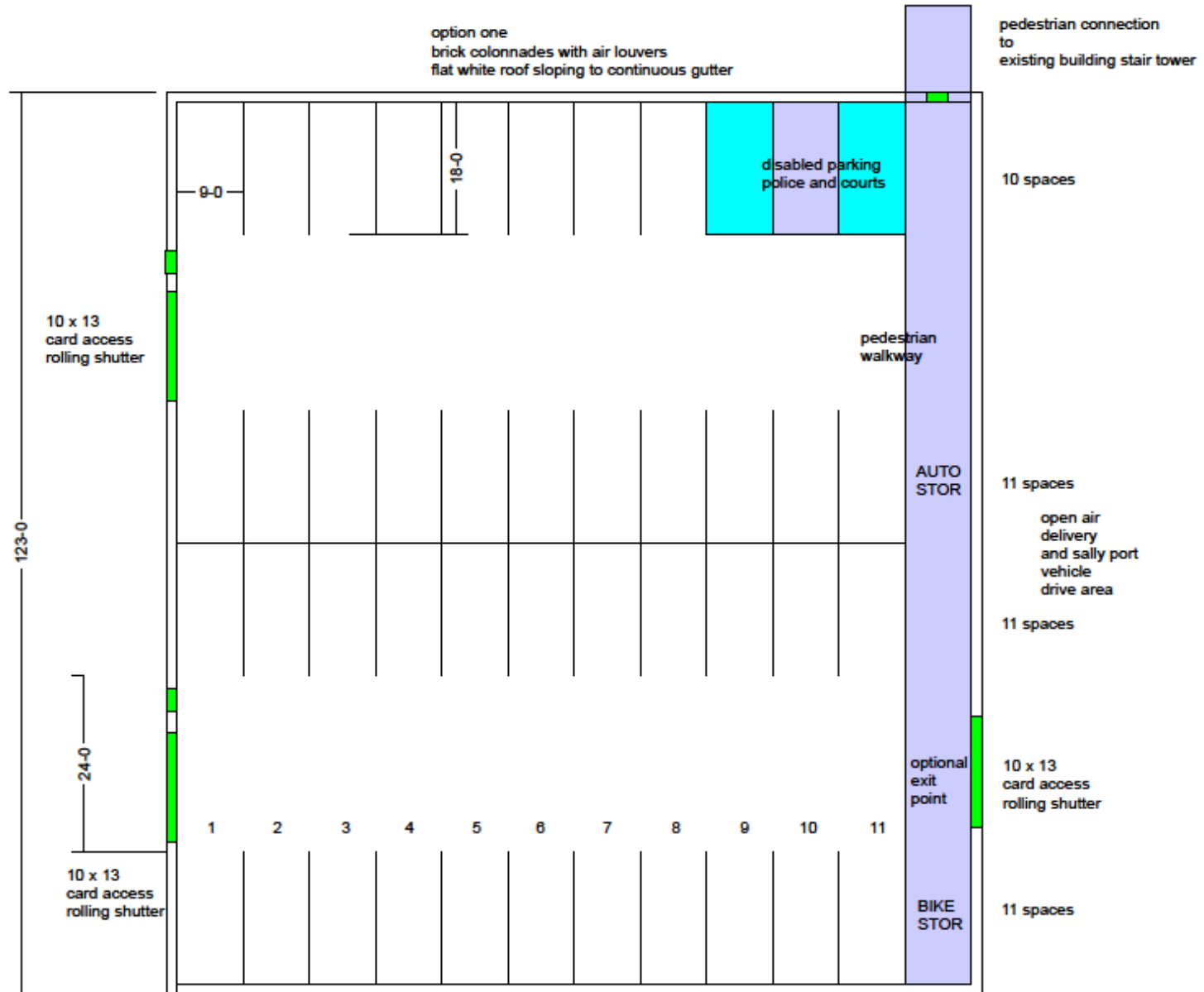
- 1 level secured enclosed on grade parking
- Option to upgrade to 2 story parking garage for an additional 40+ parking spaces
- Upgrade cost: \$600K+
- Option to add solar panels canopy cover

NORTH SIDE PARKING CONCEPT

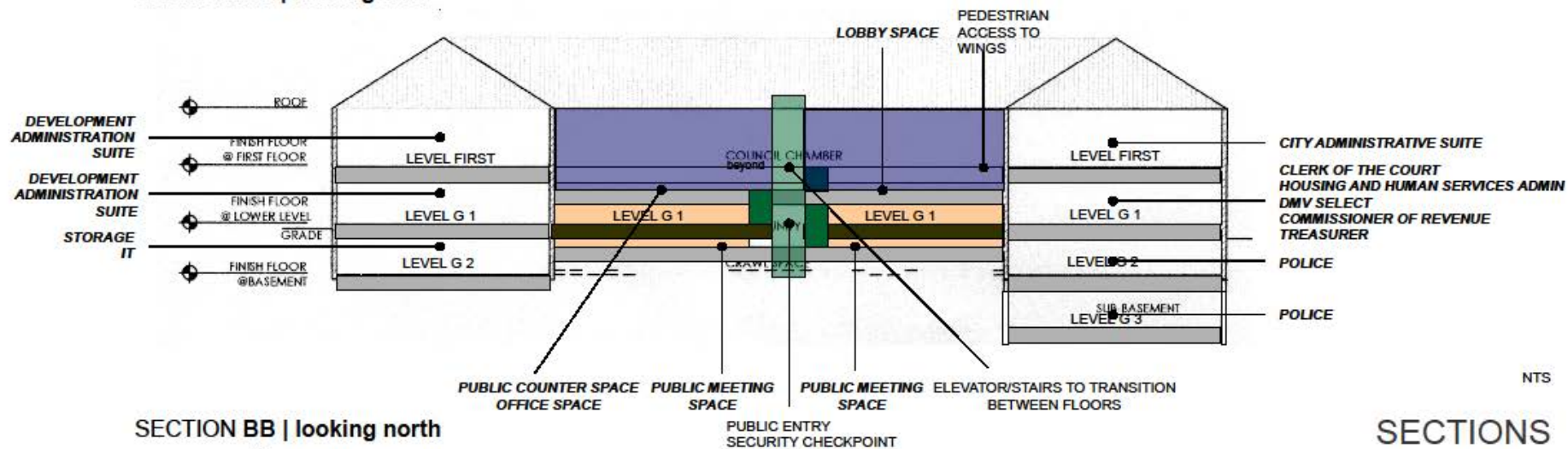
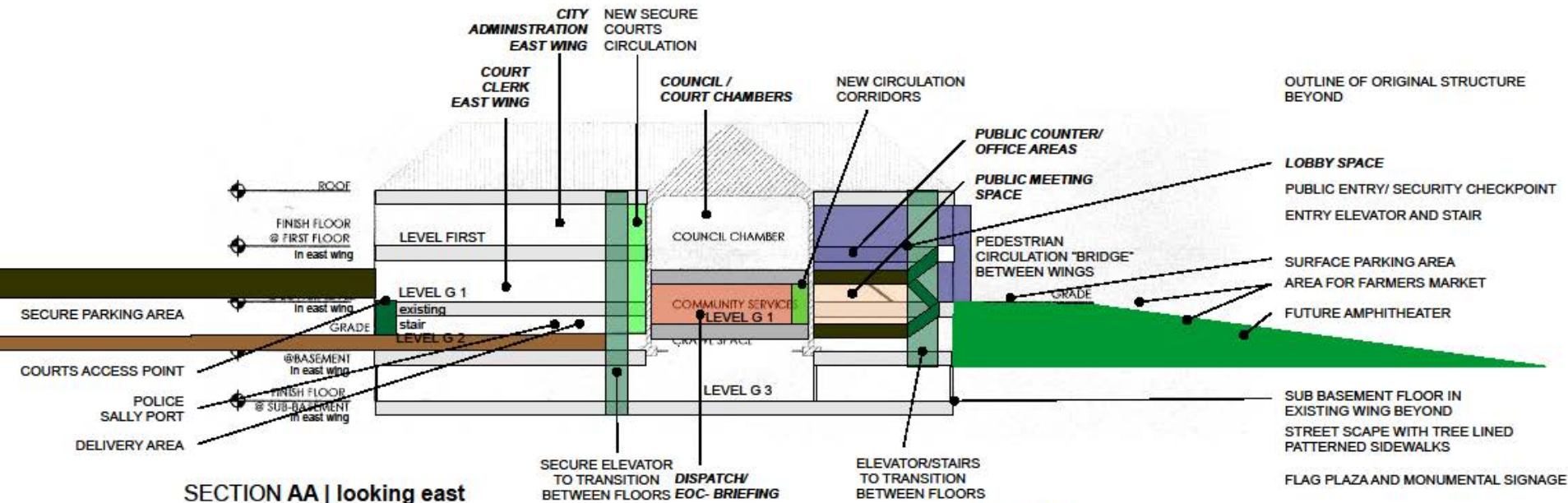
SECTION VIEW



NORTH SIDE PARKING CONCEPT PLAN VIEW



CITY HALL PUBLIC SAFETY EXPANSION/RENOVATION CONCEPT: SECTION VIEW



NTS

SECTIONS

DEWBERRY ARCHITECTS

“Add On” Project Elements

- Additional HVAC - \$ 1M
 - Complete renovation of HVAC system in West Wing
 - Reduce future maintenance and upkeep costs and liability
- 2nd Story Garage Parking - \$600K
 - 40+ parking spaces to address campus and library pressures
 - Maximize use of land
- Additional Existing Building Renovation - \$1.4 M
 - Improve wayfinding and circulation by removing more walls
 - Increase public convenience by centralizing & consolidating public counters
 - Allows for flexibility in future to reconfigure staff and public spaces
- Full North Addition - \$1.2 M
 - Additional ~4,000 SF
 - Sally Port enhancements – fully enclosed Sally Port with gate
 - Improved wayfinding and office space circulation
 - Increase future office space and design flexibility

*Costs do not include contingency markups and design.

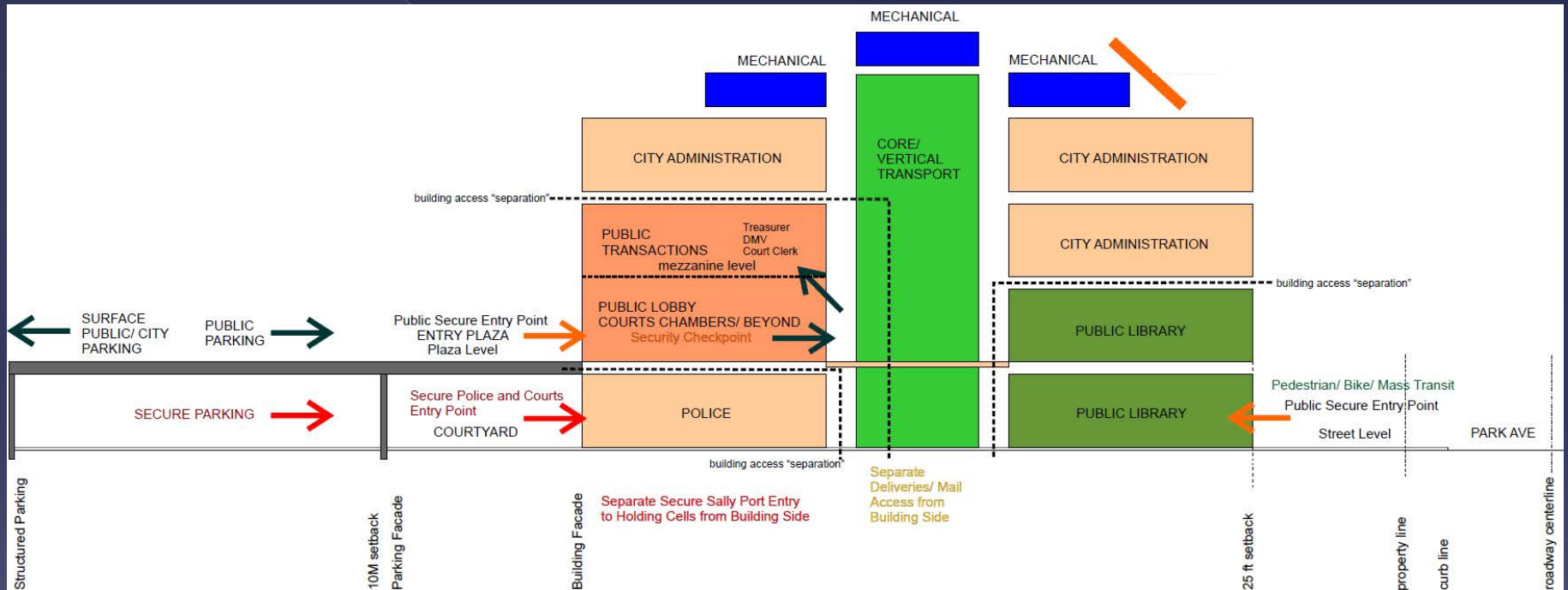
CITY HALL REBUILD/ TEAR DOWN SCHEME

CITY HALL TEAR DOWN SCHEME PLAN VIEW



CITY HALL TEAR DOWN SCHEME

SECTION VIEW/CIRCULATION CONCEPT



CITY HALL TEAR DOWN SCHEME
3 LEVEL MASSING REPRESENTATION
VIEWED FROM PARK AVE AND LITTLE FALLS ST



CITY HALL TEAR DOWN SCHEME ROUGH COSTING (UPDATED)

Project Element	Estimated Cost
Construction of 3 story, 50,000 SF new building and associated parking (1 levels – at grade and secure below grade)	\$21,433,500
Demolition of Existing Building and Haz Mat Abatement	\$905,652
Extended Site work, Furniture, fixtures, and equipment, move management costs, fees	\$12,727,025
Estimated Total:	\$34,115,525
Extend project scope to full build-out of 4 story, 80,000 SF new building	\$13,650,000
Estimated full build-out total:	\$47,765,525

OFFICE SPACE RENTAL

- 5,500 SF Rental, Class A, 20 years
- \$32.37/SF average annual rate* + \$7/SF operating costs = \$39.37/SF
- Total cost = \$4,330,700 (\$216,535/yr)
- Key public safety project goals NOT met
- Public response and staff effectiveness and efficiency decreased - communication and collaborative losses with remote office members
- Does not address existing code, maintenance and upkeep issues at City Hall. Associated costs will continue to rise.

● * based on June 2014 market research from Transwestern

PROJECT OPTION COMPARISONS

- ◎ **Approved CIP Expansion/Renovation**

- \$10.7 M - Staff Recommended
- \$1 M Critical Renovations invested
- Alternative add-ons total: \$4.2+ M

- ◎ **Tear Down Rebuild**

- \$34.1M
- Full 80K SF buildout: \$47.8 M

- ◎ **Office Space Rental**

- \$4.4 M (\$217K/yr)
- Key public safety project goals not met

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Next Steps

- ◉ Aug 4: Council input to completed 20% design
- ◉ Council consideration of Taskforce
- ◉ Proceed to 60%
 - › Community charette/engagement
- ◉ Council “touchpoint” review after community input
- ◉ Proceed to full engineering, construction bid docs and construction

- **August 4:** Council input to complete 20% designs
- **August – February 2015:** 60% floorplans and exterior renderings and phasing plan.
- **March – April 2015:** Community input on major architectural components
- **May 2015 – July 2015:** 100% floorplans and exterior renderings.
- **August 2015 – February 2016:** 100% engineering designs and construction bid documents.
- **March – July 2016:** Site Plan Amendment processed by Planning Commission.
- **August – December 2016:** Advertise and Council action on construction contract award.
- **January 2017:** Begin Construction.
- **January 2019:** End Construction.

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